



CITY OF BUNKER HILL VILLAGE

THE ZONING BOARD OF ADJUSTMENT OF THE CITY OF BUNKER HILL VILLAGE, TEXAS, WILL MEET ON WEDNESDAY, AUGUST 28, 2024, AT 5:00 P.M. IN THE CITY HALL COUNCIL CHAMBERS AT 11977 MEMORIAL DRIVE FOR THE PURPOSE OF DISCUSSION AND POSSIBLE ACTION ON THE FOLLOWING:

NOTICE OF MEETING BY TELEPHONE AND VIDEO CONFERENCE:

In accordance with Texas Government Code, Sec. 551.127, on a regular, non-emergency basis, Board members may attend and participate in a meeting remotely by video conference. Should such attendance transpire, a quorum of the Zoning Board of Adjustment will be physically present at the location noted above on this agenda.

This meeting agenda, and the agenda packet, are posted online at:

www.bunkerhilltx.gov

The public will be able to observe and participate in the meeting as follows:

Join Zoom Meeting

<https://us06web.zoom.us/j/85856949173?pwd=IfZNZMzkZoZUQxb4Xvg1MHSVpJ9vg8.1>

Meeting ID: 858 5694 9173

Passcode: 487813

Dial by your location: +1 346 248 7799 US (Houston)

The public will be permitted to offer public comments by video conference as provided by the agenda and as permitted by the presiding officer during the meeting. A recording of the meeting will be made and will be available to the public in accordance with the Open Meetings Act upon written request.

- I. CALL TO ORDER**
- II. PUBLIC COMMENT**
- III. CONSIDERATION AND POSSIBLE ACTION REGARDING APPROVAL OF THE JUNE 26, 2024, MEETING MINUTES**
- IV. PUBLIC HEARING REGARDING A REQUEST FROM JON SLAGLE FOR AN APPEAL OF THE BUILDING OFFICIAL’S DETERMINATION UNDER CHAPTER 4, ARTICLE 5 OF THE CITY’S CODE OF ORDINANCES REQUIRING THAT THE LOWEST FLOOR OF ANY RESIDENTIAL STRUCTURE BE ELEVATED TO OR ABOVE THE FIVE HUNDRED YEAR ELEVATION AT THE PROPERTY 301 RAINIER DRIVE**

Open Public Hearing

ALL INTERESTED PARTIES SHALL HAVE THE RIGHT AND OPPORTUNITY TO APPEAR AND BE HEARD ON THE ITEM LISTED ABOVE

Close Public Hearing

- V. CONSIDERATION AND POSSIBLE ACTION REGARDING A REQUEST FROM JON SLAGLE FOR AN APPEAL OF THE BUILDING OFFICIAL’S DETERMINATION UNDER CHAPTER 4, ARTICLE 5 OF THE CITY’S CODE OF ORDINANCES REQUIRING THAT THE LOWEST FLOOR OF ANY RESIDENTIAL STRUCTURE BE ELEVATED TO OR ABOVE THE FIVE HUNDRED YEAR ELEVATION AT THE PROPERTY 301 RAINIER DRIVE**
- VI. PUBLIC HEARING REGARDING A REQUEST FROM JON SLAGLE FOR A VARIANCE TO APPENDIX A, SECTION 9.07 AT THE PROPERTY 301 RAINIER DRIVE**

Open Public Hearing

ALL INTERESTED PARTIES SHALL HAVE THE RIGHT AND OPPORTUNITY TO APPEAR AND BE HEARD ON THE ITEM LISTED ABOVE

Close Public Hearing

- VII. CONSIDERATION AND POSSIBLE ACTION REGARDING A REQUEST FROM JON SLAGLE FOR A VARIANCE TO APPENDIX A, SECTION 9.07 AT THE PROPERTY 301 RAINIER DRIVE**

VIII. ADJOURN

I, Gerardo Barrera, City Administrator/ Acting City Secretary, for the City of Bunker Hill Village, certify that the above notice of meeting was posted in a place convenient to the general public in compliance with Chapter 551, Texas Government Code, by Monday, August 5, 2024, by 5:00 p.m.

(SEAL)



Gerardo Barrera, City Administrator/ Acting City Secretary

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodation or interpretive services must be made 48 hours prior to public meetings. Please contact the office of the City Secretary at 713-467-9762 for further information.

**MINUTES OF A PUBLIC MEETING
OF THE CITY OF BUNKER HILL VILLAGE
ZONING BOARD OF ADJUSTMENT
WEDNESDAY, JUNE 26, 2024**

I. CALL TO ORDER

Chair David Light called the Zoning Board of Adjustment Meeting to order at 5:00 p.m. based on a quorum of members present:

Present

David Light, Chair
Patricia Shuford, Vice-Chair
Michelle Belco, Member
Louis Crappito, Member
Ryan West, Alternate Member

Staff in Attendance

Gerardo Barrera, City Administrator
Elvin Hernandez, Director of Public Works
Loren Smith, City Attorney
Mallory Pack, Management Analyst

Absent

David Marshall, Member
Josh Pratt, Member

II. PUBLIC COMMENT

There were no public comments.

III. CONSIDERATION AND POSSIBLE ACTION REGARDING APPROVAL OF THE MAY 15, 2024, MEETING MINUTES

This item was taken out of order.

A motion was made by Board Member Shuford and seconded by Board Member West to approve the May 15, 2024, meeting minutes.

The motion carried 5 - 0

IV. PUBLIC HEARING REGARDING A REQUEST FROM MARK DOUGLAS MADDOX AND CANDACE DIANE MADDOX FOR AN APPEAL OF THE CITY'S BUILDING OFFICIAL'S INTERPRETATION OF ARTICLE IV, SECTION 4-70 (1) OF THE CITY'S CODE OF ORDINANCES AT THE PROPERTY 11926 SURREY LANE

ALL INTERESTED PARTIES SHALL HAVE THE RIGHT AND OPPORTUNITY TO APPEAR AND BE HEARD ON THE ITEM LISTED ABOVE

Chair Light opened the public hearing at 5:06 p.m.

Applicant's Request

The applicant is remodeling an existing home at 11926 Surrey Ln. and requests an appeal of the City's Building Official's interpretation of Article IV, Section 4-70 (1) of the City's Code of Ordinances.

Mark Maddox, applicant and property owner, presented a request for an appeal of the City's Building Official's interpretation of Article IV, Section 4-70 (1) of the City's Code of Ordinances. He stated that the project was permitted for a remodel that affected less than 50% of the existing home. The approved permit covered 34% of the home's square footage, including the kitchen, laundry room, family room, pantry, and primary bathroom. During the remodel, temporary cuts were made in walls/areas not included, or approved, in the original remodel permit to replace outdated plumbing. The reason provided by the applicant was to improve water use efficiency and safety. The City's Building Official determined that the cuts counted towards the remodeled square footage, thus exceeding the 50% substantial improvement threshold. This resulted in a stop work order issued in May 2024.

He explained that reclassifying the additional plumbing work as a reconstruction project and requiring compliance with new construction standards would impose an unnecessary hardship and not be financially reasonable, as the additional work did not alter the square footage of the home.

David Morrison of Clark Campbell Homes, contractor for the remodel project at 11926 Surrey Ln., reiterated Mr. Maddox's statement. He spoke that the temporary cuts to replace the outdated plumbing increased the remodeled area by 228 square feet, surpassing the 50% threshold.

Public Comment

There were no public comments.

Chair Light closed the public hearing at 5:14 p.m.

V. CONSIDERATION AND POSSIBLE ACTION REGARDING A REQUEST FROM MARK DOUGLAS MADDOX AND CANDACE DIANE MADDOX FOR AN APPEAL OF THE CITY'S BUILDING OFFICIAL'S INTERPRETATION OF ARTICLE IV, SECTION 4-70 (1) OF THE CITY'S CODE OF ORDINANCES AT THE PROPERTY 11926 SURREY LANE

Staff stated that no objections were received regarding the variance request. City Attorney Smith addressed the Board to either uphold or overturn the decision of the Building Official.

A motion was made by Board Member West and seconded by Board Member Shuford to overturn the City’s Building Official’s interpretation of Article IV, Section 4-70 (1) of the City’s Codes of Ordinances at the property 11926 Surrey Lane.

Roll Call Vote

David Light..... YES
Michelle Belco..... YES
Patricia Shuford..... YES
Ryan West..... YES
Louis Crappito.....YES

The motion carried 5 – 0 (board approved to overturn the Chief Building Official’s decision)

VI. ADJOURN

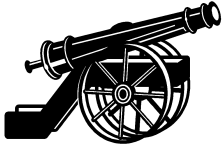
Chair Light adjourned the meeting at 5:22 p.m.

Approved and accepted on August 28, 2024.

David Light, Chair

ATTEST:

Gerardo Barrera, City Administrator/ Acting City Secretary



**City of Bunker Hill Village
Zoning Board of Adjustment
Agenda Request**

Agenda Date:	August 28, 2024
Agenda Item:	IV - VII
Subject:	Appeal Request Variance Request
Exhibits:	Finished Floor Elevation Requirements (from the City's Drainage Engineer) Application
Presenter(s):	Elvin Hernandez, Director of Public Works

Executive Summary

The applicant is submitting two requests for a home remodel project at the property 301 Rainier Drive.

Appeal Request

The applicant is requesting to appeal the finished floor elevation requirements as defined by Section 4-171 of the City's Code of Ordinances:

Generally. Compliance with the provisions of this section shall be a condition for the issuance of development permits for construction of buildings or structures used for residential purposes or for the material alteration of the grade of any lot or tract of land located within the city. For the purposes hereof, "material alteration of the grade" shall mean any alteration of the grade which would or could reasonably result in the diversion or alteration of the course of flow of stormwater runoff to a direction other than directly toward and into the outfall drainage facility designed to receive stormwaters from such lot or tract of land, without traversing upon or across the land of any person other than the person who owns the lot or tract upon which the alteration is to occur.

- (a) Erosion and stormwater runoff controls and remedial actions shall be taken incident to all residential construction in accordance with the "Flood Prevention Plan for Residential Construction" as set forth in appendix A, not included herein, and for all things made a part hereof. All such proposed control and remedial action shall be evidenced by the filing of the application as provided in such appendix A.
- (b) Each lot or tract of land shall be served by an underground storm sewer system, designed and constructed to provide interior drainage for such lot or tract, and capable of receiving and transporting stormwaters for a minimum of a ten-year frequency storm. Inlets into such system shall be placed around the lot or tract, with consideration given for all permeable surfaces to be covered, so as to provide adequate collection of

stormwaters necessary to prevent ponding or overflow onto adjacent properties. Such interior storm sewer system shall be designed and constructed to transport such stormwaters directly to the outfall facility designed to receive stormwaters from such lot or tract. No such storm sewer system shall use underground pipe of less than six (6) inches in diameter. Provided further, no slab for the foundation of any building or structure shall be poured, nor shall any material alteration of the grade of any lot or tract be commenced prior to the installation, inspection and approval of the interior storm sewer system required hereby.

(c) No first level finished floor elevation or the bottom of the lowest horizontal structural member of a pier and beam building shall be less than the highest of the five hundred (500) year floodplain elevations, or twelve (12) inches above the higher of the following, in the discretion of the building official for the furtherance of the purposes of this chapter:

- (1) Top of the nearest sanitary sewer manhole,
- (2) The crown of the street nearest thereto, if the street has curb and gutter,
- (3) The elevation at which water enters the nearest drainage inlet, if the street does not have curb and gutter, or
- (4) The hydraulic grade line as modeled and profiled for the City's major drainage ways based on the 100-year storm event as adopted in the City's Drainage Criteria Manual.

At no time shall the first level finished floor elevation or the bottom of the lowest horizontal structural member of a pier and beam building be less than the hydraulic grade line as modeled and profiled for the city's major drainage ways based on the Harris County NOAA Atlas 14 required storm event as adopted by Harris County in 2020.

The standards prescribed in this subsection shall be applied:

- (1) For all new residential construction within the city; and
- (2) When the repair or modification of an existing structure involves structural modifications, including wall or ceiling board replacement, in rooms constituting more than fifty (50) percent of the climate controlled square footage of the structure.

Variance Request

§ 9.07. Nonconforming buildings and structures.

A building or structure lawfully existing on the effective date of this ordinance which is made nonconforming by the provisions of this ordinance for the reason that it could not be built under the terms hereof because of restrictions set forth herein relating to building area, lot coverage, height, yards, setback requirements, its location on the lot, or other requirements pertaining to buildings and structures, it may be continued as long as it remains otherwise lawful, subject to the following limitations and conditions:

- A. *Enlargement or alteration.* No such nonconforming building or structure shall be enlarged or altered in a manner which increases its nonconformity; however, such building or structure may be altered to decrease its nonconformity.
- B. *Destruction.* In the event such nonconforming building or structure or the nonconforming portion thereof should be destroyed by any force or means to the extent that the cost of repair exceeds fifty (50) percent of the value of the structure at the time of such destruction, it shall not be reconstructed except in conformity with the provisions of this ordinance. For purposes of this subsection, the value of the structure shall be the average cost per square foot of all new construction within the city for the

last three (3) years based on certified values from the Harris County Appraisal District, as set forth in the City of Bunker Hill Village Fee Schedule as adopted by city council..

- C. *Moved or relocated.* Should any such nonconforming building or structure be relocated or moved any distance whatever for any reason, it shall thereafter be made to conform to the regulations of the district in which it is relocated or to which it is moved.

This section shall not apply to the reconstruction of accessory or driveway structures whereby the reconstruction consists of the same, or less, land use, location, and size as the improvements previously in place. Reconstruction of the main structure requires all nonconforming aspects of the lot to be resolved.

Recommended Action

Staff recommends the Zoning Board of Adjustment take the following actions:

1. Hold public hearings
2. Discuss and take any desired action

Finished Flood Elevation for Bunker Hill Village

It is the purpose of the City's Drainage Criteria Manual to preserve and enhance the desirability of the City by requiring careful planning of the City's redevelopment which includes the management of drainage facilities and storm water while ensuring the owners' rights to utilize and develop their property. The intent of these drainage standards is to reduce or prevent structural flooding as a result of storm events up to the 100-year Atlas 14 storm event through the implementation of this criterion.

Bunker Hill Village is not in the FEMA flood plain except for two properties on the west side of the City. However, during large rain events the City was documenting 50+ homes being flooded dating back to 2010. The Memorial Day flood of 2015 saw 35+ flooded homes and the Tax Day flood the following year resulted in 20+ flood homes. So it was clear that homes within the City limits weren't flooding from riverine flood waters, but localized flooding due to lack of storm sewer and ditch capacity.

RPS developed an XP-SWMM model that represented the effects of large storms within the City. The City now had a better understanding of the water surface elevations (Hydraulic Grade Line) and problem areas within its limits. The goal was always to minimize structural flooding so it was recommended and approved to utilize this model to determine finished flood elevations (FFE) for all new construction and 50%+ redevelopment properties. Once new slab elevations were set to be above the Hydraulic Grade Line from the model, the only homes that have seen even the slightest inundation are the ones with lower slabs built prior to the new requirements.

*In 2021, Harris County required that all Cities within the County adopt Atlas-14 rainfall guidelines in order to partner with them on future projects. In order to comply, the City updated the drainage ordinance to meet the minimum requirements set forth by Harris County which sets the Finished Flood Elevation at or above the Atlas-14 Hydraulic Grade Line from our model.



**CITY OF BUNKER HILL VILLAGE
APPLICATION FOR
BOARD OF ADJUSTMENT REQUEST**

Owner's Name: Jon Slagle Phone: 281-793-7139

Mailing Address: 301 Rainier Dr, Houston, TX Zip: 77024

Property Address (If Different): N/A

Action Requested: Variance Appeal Special Exceptions Zoning District A B

Project Description and Request: Remodel the home within the existing footprint, extend garage, and add covered patio. The remodel includes replacement of all plumbing, electrical, and duct work to bring these up to a safe, modern standard and into conformity with current codes/Ordinances. Some reframing of the interior of the house is planned, with minor changes to load bearing walls. I appeal the decision determining that this remodel/addition work constitutes "Reconstruction". I request a variance such that the remodel/addition work planned is applied under the exception for alteration of nonconforming structures, where nonconformity with Ordinances is decreased.

Section of Code at Issue: Section 4-3 – Definitions: Reconstruction and Section 9.07 – Nonconforming Buildings and Structures.

Attachments as applicable:

- Site Plan
- Letter of Permit Denial
- Any Additional Information

A fee of \$300.00 is required for processing

Signature of Applicant: Jon Slagle Date: 7/25/2024

**City of Bunker Hill Village
Board of Adjustment
Notice of Appeal**

Submitted: July 25, 2024
301 Rainier Dr

SUMMARY OF APPEAL

The Homeowner (“Appellant”) appeals the decision of the City of Bunker Hill Village Public Works Director (“Building Official”) determining that the remodel/addition work planned at 301 Rainier Dr constitutes “Reconstruction” under the City of Bunker Hill Village Code of Ordinances (“Ordinances”). Classification of this project as a “Reconstruction” would require the entire property to be brought up to new construction standards. This includes new slab elevation requirements, for which the existing home elevation is ~6” too low, based on the City’s hydraulic grade line (“HGL”) model. Elevating the slab is not possible or economically viable without demolishing and reconstructing the home entirely, which would constitute the “destruction of any reasonable use of the property” and “an undue hardship” (qualifying variance criteria). Appellant believes the decision of the Building Official is an incorrect application of the Ordinances, as it disregards the allowance for a nonconforming structure to be “altered to decrease its nonconformity” with the Ordinances (Article 9.07 – Nonconforming Buildings and Structures). Appellant requests a variance from the Ordinances inasmuch as “a literal enforcement of the provisions of this ordinance would result in unnecessary hardship, and so that the spirit of this ordinance shall be observed and substantial justice done.” Such a variance also “will not be contrary to public interest” (Section 11.04 B – Variances).

BACKGROUND AND TIMELINE

Jon Slagle (“Homeowner”) purchased the home at 301 Rainier Dr (“Home”) on 10/25/2023. The Home was built in 1958, and consists of 2,887 square feet. Given the original 1958 construction of the Home, inspections identified significant issues with the existing electrical and plumbing that do not meet current code/Ordinance requirements and are unsafe for both the Homeowner and surrounding community. For example, cloth insulated electrical wiring, in poor condition, was identified throughout the Home, with a large number of open grounds. The need to bring this unsafe electrical up to code was the catalyst for the planned removal of all drywall in the Home. With the need to remove this drywall, it made sense to plan for some additional remodeling. The Homeowner plans to work with Pletcher Construction (“Builder”) for this remodel/addition project, with the intent to correct these electrical and plumbing ordinance nonconformities and bring the Home up to a safe, modern standard.

The Homeowner entered into a contract with an architect to begin planning for this remodel/addition project on 3/5/2024. After studying the Ordinances and other available resources, Homeowner identified the unusual “Reconstruction” definition in the Ordinances, which is based on drywall and plumbing/electrical rather than actual structure changes to the Home. As required in the Ordinances for a “Reconstruction” project, Homeowner attempted to confirm that the project would meet all new construction requirements. Homeowner,

architect, and surveyor confirmed, based on all publicly available data, that the project met these requirements. Homeowner requested non-publicly available 100-year HGL elevation from Bunker Hill via automated email in the Bunker Hill Project Spreadsheet on 5/14/2024. This request was ignored. Homeowner, architect, and Builder met with Building Official for a Pre-Development meeting on 5/29/2024, where project details and permitting requirements were discussed. The importance of receiving the missing 100-year HGL elevation was made clear to the Building Official in this meeting. After numerous communications back and forth, the 100-year HGL elevation was finally received on 6/4/2024, which showed the existing slab elevation to be ~6” low to this requirement. Extensive discussion with the Building Official and consideration of potential paths forward took place. This included discussion of upcoming plans to change the “Reconstruction” definition in question to focus more on true structural changes rather than non-structural drywall, plumbing, and electrical. The Building Official finally made the official determination that a permit would not be granted on 7/10/2024, due exclusively to the inability of the slab elevation to be brought up to the 100-year HGL requirement. Homeowner submitted Application for Board of Adjustment Request on 7/25/2024. During this roughly 2-month period of untimely data requests, confusion, and discussion, significant funds were spent to complete the planning for this project.

DISCUSSION

Given the slab elevation requirement, triggered by the “Reconstruction” definition, it is not possible or economically viable to bring the Home completely up to new construction standards, and safety concerns with the current state of the Home, most notably the unsafe electrical, cannot be corrected without triggering the “Reconstruction” definition. This leaves no path forward, but to demolish the Home entirely and sell the property at lot value. For this reason, the decision of the Building Official, although made in good faith, will inflict undue hardship on the Homeowner, destroying any reasonable use of his property. The Homeowner requests a variance such that a permit will be granted to begin this remodel/addition project as planned. Granting this variance is to the benefit of the public interest, as it will allow this currently unsafe Home to be brought up to a safe, modern standard, and into closer conformity with the Ordinances.

The Board of Adjustment has the power to grant both variances and special exceptions to decisions of the Building Official. Under Article XI (Board of Adjustment), Section 11.04 (Powers) of the Ordinances, the Board of Adjustment is granted the power “to authorize in special cases such variance from the terms of this ordinance as will not be contrary to public interest where, because of special conditions, a literal enforcement of the provisions of this ordinance would result in unnecessary hardship, and so that the spirit of this ordinance shall be observed and substantial justice done.”

LIST OF EXHIBITS

Exhibit A	Applicable Bunker Hill Village Ordinances	Page 5-6
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Exhibit F	Existing Floor Plan	Page 11
Exhibit G	Proposed Floor Plan	Page 12
Exhibit H	Proposed/Existing East (Front) Elevation	Page 13
Exhibit I	Proposed/Existing South (Left) Elevation	Page 14
Exhibit J	Proposed/Existing West (Back) Elevation	Page 15
Exhibit K	Proposed/Existing North (Right) Elevation	Page 16

Exhibit A – Applicable Bunker Hill Village Ordinances

Sec. 4-3. - Definitions.

Reconstruction shall mean the reconstruction of fifty (50) percent or more, either value or living area, (of which a building permit is required) of an existing structure within the existing footprint. This includes structural (wall board or ceiling board is removed), and/or if plumbing or electrical utilities are impacted. The reconstruction shall be cumulative of all remodeling or modification work to the structure within any consecutive twenty-four (24) month period. For purposes of this subsection, the value of the structure shall be the average cost per square foot of all new construction within the city for the last three (3) years based on certified values from the Harris County Appraisal District, as set forth in the City of Bunker Hill Village Fee Schedule as adopted by city council.

§ 9.07. - Nonconforming buildings and structures.

A building or structure lawfully existing on the effective date of this ordinance which is made nonconforming by the provisions of this ordinance for the reason that it could not be built under the terms hereof because of restrictions set forth herein relating to building area, lot coverage, height, yards, setback requirements, its location on the lot, or other requirements pertaining to buildings and structures, it may be continued as long as it remains otherwise lawful, subject to the following limitations and conditions:

- A. *Enlargement or alteration.* No such nonconforming building or structure shall be enlarged or altered in a manner which increases its nonconformity; however, such building or structure may be altered to decrease its nonconformity.
- B. *Destruction.* In the event such nonconforming building or structure or the nonconforming portion thereof should be destroyed by any force or means to the extent that the cost of repair exceeds fifty (50) percent of the value of the structure at the time of such destruction, it shall not be reconstructed except in conformity with the provisions of this ordinance. For purposes of this subsection, the value of the structure shall be the average cost per square foot of all new construction within the city for the last three (3) years based on certified values from the Harris County Appraisal District, as set forth in the City of Bunker Hill Village Fee Schedule as adopted by city council.
- C. *Moved or relocated.* Should any such nonconforming building or structure be relocated or moved any distance whatever for any reason, it shall thereafter be made to conform to the regulations of the district in which it is relocated or to which it is moved.

This section shall not apply to the reconstruction of accessory or driveway structures whereby the reconstruction consists of the same, or less, land use, location, and size as the improvements previously in place. Reconstruction of the main structure requires all nonconforming aspects of the lot to be resolved.

Sec. 4-171. - Standards applicable to all construction.

(c) No first level finished floor elevation or the bottom of the lowest horizontal structural member of a pier and beam building shall be less than the highest of the five hundred (500) year floodplain elevations, or twelve (12) inches above the higher of the following, in the discretion of the building official for the furtherance of the purposes of this chapter:

- (1) Top of the nearest sanitary sewer manhole,
- (2) The crown of the street nearest thereto, if the street has curb and gutter,
- (3) The elevation at which water enters the nearest drainage inlet, if the street does not have curb and gutter, or

(4) The hydraulic grade line as modeled and profiled for the City's major drainage ways based on the 100-year storm event as adopted in the City's Drainage Criteria Manual.

At no time shall the first level finished floor elevation or the bottom of the lowest horizontal structural member of a pier and beam building be less than the hydraulic grade line as modeled and profiled for the city's major drainage ways based on the Harris County NOAA Atlas 14 required storm event as adopted by Harris County in 2020.

End Exhibit A – Applicable Bunker Hill Village Ordinances

Exhibit B – Untimely Response to Request for City’s 100-Year HGL Modeled Elevation

301 Rainier Dr

 jdslagle94@gmail.com
To info@bunkerhilltx.gov

Reply Reply All Forward ...

Tue 5/14/2024 6:32 PM

Please provide the 100 year HGL for 301 Rainier Dr This is a Remodel Only project.

On Jun 4, 2024, at 2:46 PM, McClung, Michael <michael.mcclung@tetrattech.com> wrote:

Address	301 Rainier Dr				
Scenario	10 Yr	100 Yr	250 Yr	500 Yr	100 Yr (ATLAS 14)
Max HGL	72.74	75.27	75.97	76.5	75.69

The 2nd number is going to be your control. Slab needs to be 1-ft above 75.27. Let me know if you need any help.

Mike McClung
Director, Water Business Unit
RPS | North America
T +1 281 589 7257
E michael.mcclung@tetrattech.com

End Exhibit B – Untimely Response to Request for City’s 100-Year HGL Modeled Elevation

Exhibit C – Building Official’s Untimely Letter of Permit Denial

From: Elvin Hernandez <ehernandez@bunkerhilltx.gov>
Sent: Wednesday, July 10, 2024 9:46 AM
To: jdslagle94@gmail.com
Cc: Gerardo Barrera <gbarrera@bunkerhilltx.gov>; Mallory Pack <mpack@bunkerhilltx.gov>
Subject: Re: 301 Rainier Dr - Remodel and Addition Permit

Hello,

After review and consideration, your proposed project is considered a reconstruction project under section **Sec. 4-3. - Definitions** and would be subject to requirements under section **§ 9.08. - Repairs, modifications, and maintenance**, that outlines the following: **Reconstruction of the main structure requires all nonconforming aspects of the lot to be resolved.**" These requirements would involve items such as slab elevation to come to compliance as outlined in the attached word document as well as underground utility requirements amongst any other items that are non-conforming on your lot.

A significant focus of the review was on meeting finished floor elevation standards specified in **Section 4-171 - Standards applicable to all construction**. It was clarified during discussions with you and your team that compliance with the requirements outlined in that section is crucial to meet the finished floor elevation standards. Furthermore, consultations with our City Attorney affirmed that the building official's discretion is limited to the described criteria without additional latitude.

In summary, your project is currently classified as a reconstruction project and must adhere to the specified city codes, as well as any other applicable regulations that may pertain. Some of the biggest factors here is the entire removal of dry wall, plumbing, and electrical that are specifically referenced in our city ordinance.

While I understand that this may not be what you want to hear, I like to be as transparent as I can and provide as much information as possible. Via phone discussions you indicated that you may want to proceed with a variance request, you have 15 days from the date of this final decision to submit a complete variance application to city hall.

V/r,

Elvin Hernandez, PMP
Director of Public Works / Building Official
City of Bunker Hill Village
11977 Memorial Drive
Houston, Texas 77024
713-467-9762
www.bunkerhilltx.gov

End Exhibit C – Building Official’s Untimely Letter of Permit Denial

Exhibit D – Building Slab Elevation Certificate

**City of Bunker Hill Village
Building Slab Elevation Certificate**







Date: July 23, 2024
Project Address: 301 Rainier Dr
Contractor: Pletcher Construction
Property Owner: Jon Slagle
Project: Addition with Remodel

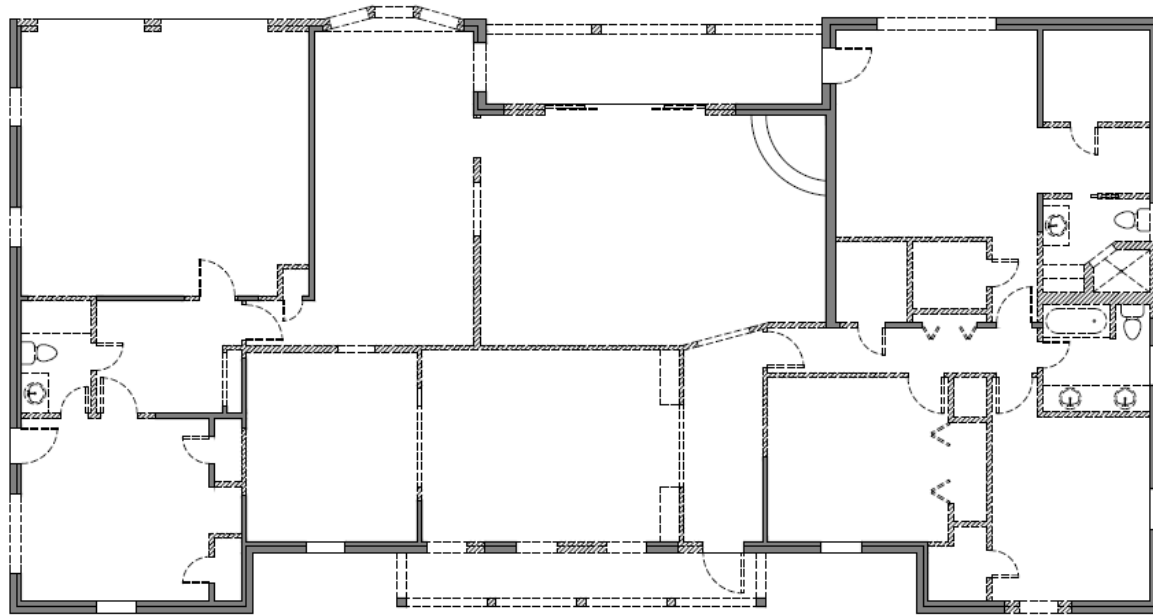
	Proposed
A. Elevation of lowest finished floor (or bottom of horizontal beam on pier and beam foundations)	75.75
B. Elevation of top of nearest sanitary sewer manhole on same system.	74.19
C. Height of lowest finished floor above sanitary manhole (min 12")	1.56
D. If the front of the lot is on a curb and gutter street (Elevation of the center of the street in front of the lot)	74.28
E. If the front of the lot is on a street served by ditches (Elevation of the top of the grate of the nearest storm inlet. If no inlet, use the center of the street)	0.00
F. Height of finished floor above drainage.	1.47
<u>CLICK HERE TO REQUEST THE HGLS</u>	
G. Calculated Hydraulic Gradient Line (HGL) Request this number from the City.	75.27
H. Height of finished floor above the HGL (Minimum of 12")	0.48
I. Calculated Harris County Atlas 14 Elevation	75.69
J. Your foundation elevation (bottom of horizontal structural member for pier and beam) must be no lower than this elevation.	76.27

End Exhibit D – Building Slab Elevation Certificate

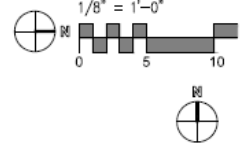
Exhibit F – Existing Floor Plan

DEMOLITION PLAN LEGEND

-  EXISTING WALL TO REMAIN, PATCH AND REPAIR AS NEEDED TO BRING CONDITION UP TO MEET NEW CONSTRUCTION
-  EXISTING WALL TO BE REMOVED
-  EXISTING DOOR TO REMAIN OR BE RELOCATED, VERIFY SIZE AND LOCATION W/ DOOR SCHEDULE
-  EXISTING DOOR TO BE REMOVED



J 301 Rainier
SLAGLE RESIDENCE
05.06.24
1/8" = 1'-0"



The graphic scale bar shows increments of 0, 5, and 10 feet. A north arrow is located below the scale bar.

1 LEVEL 1 - DEMOLITION PLAN
DATE: 05.06.24

End Exhibit F – Existing Floor Plan

Exhibit G – Proposed Floor Plan

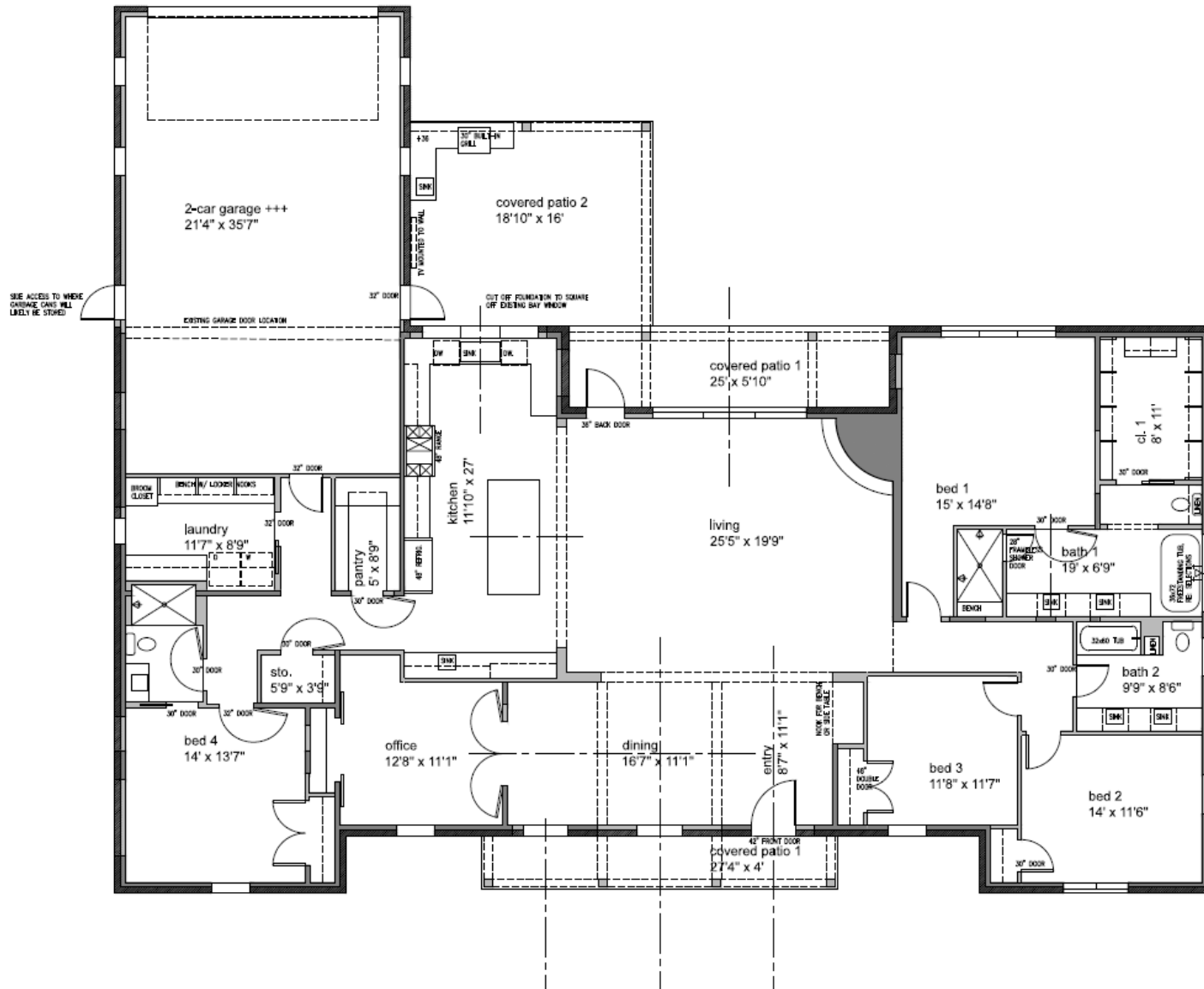
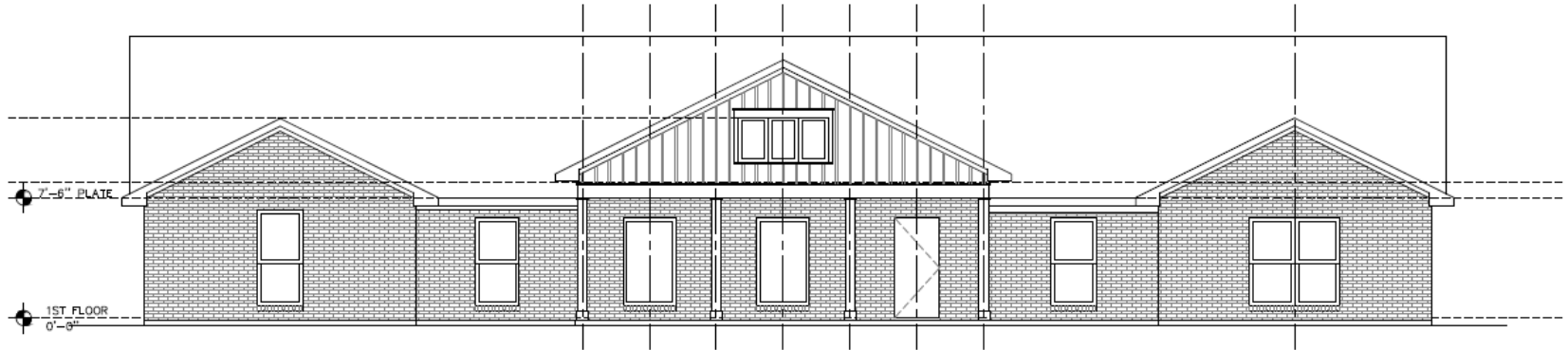
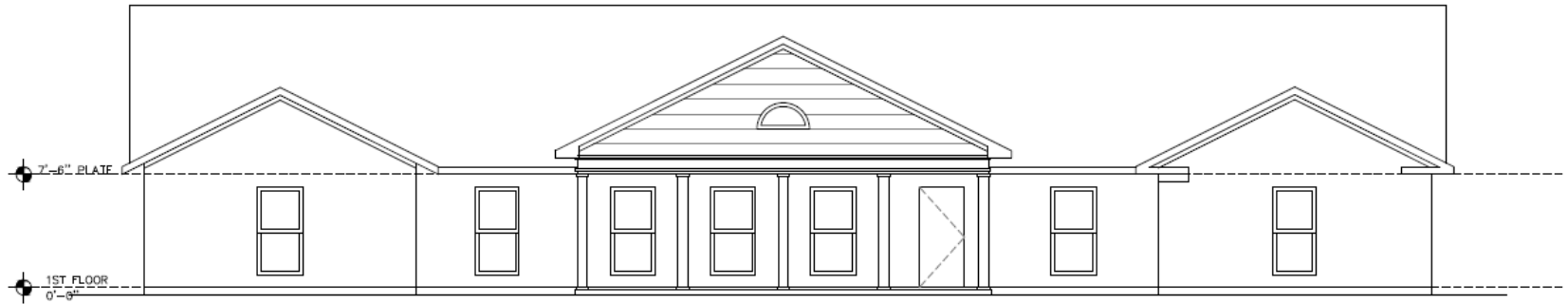


Exhibit H – Proposed/Existing East (Front) Elevation



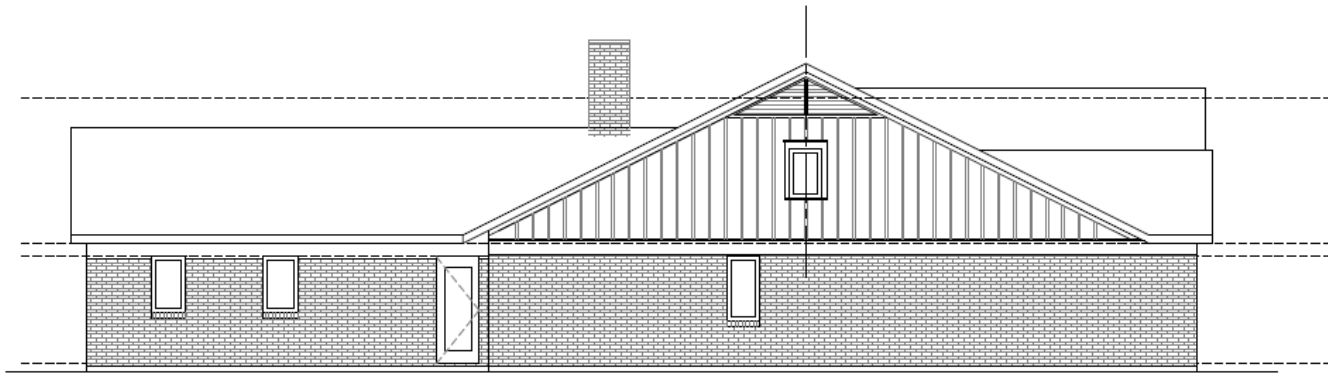
3 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



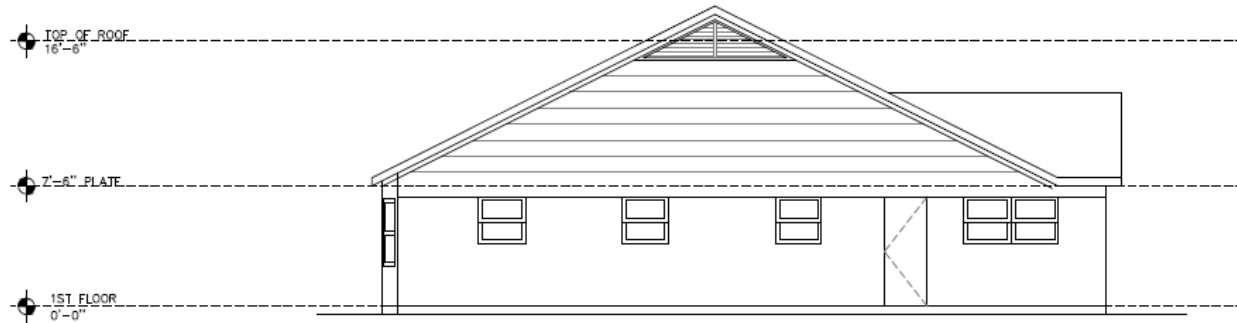
1 EXISTING ELEVATION - EAST
1/4" = 1'-0"

End Exhibit H – Proposed/Existing East (Front) Elevation

Exhibit I – Proposed/Existing South (Left) Elevation



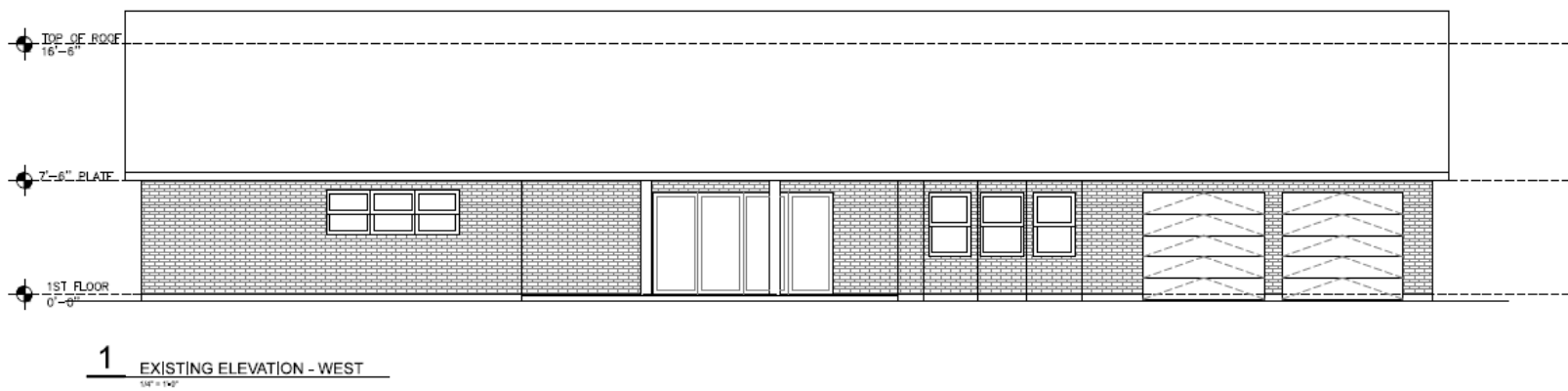
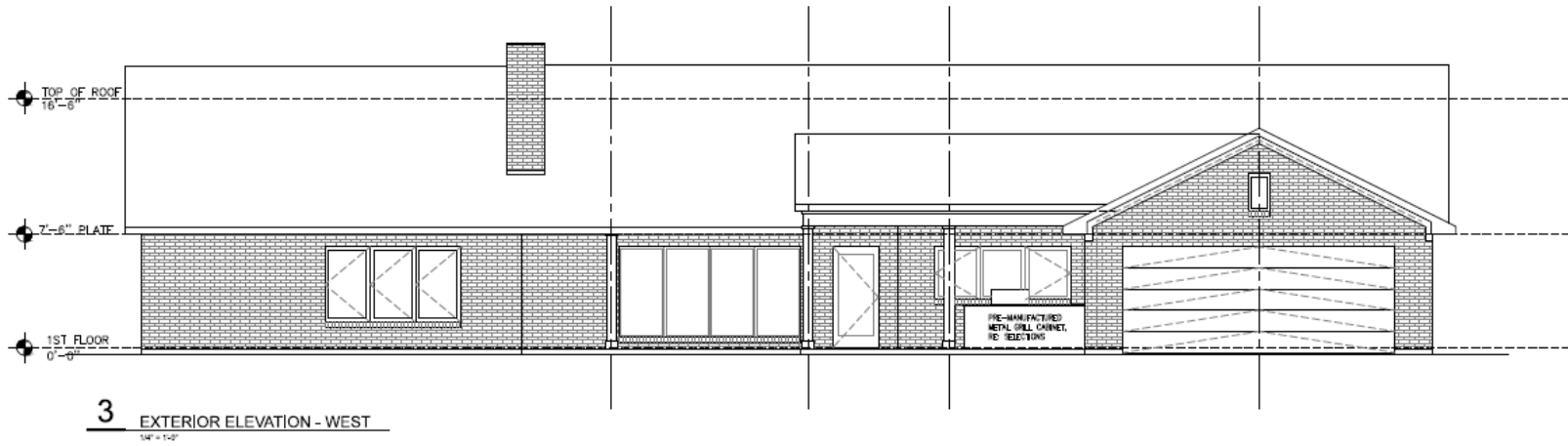
3 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



1 EXISTING ELEVATION - SOUTH
1/8" = 1'-0"

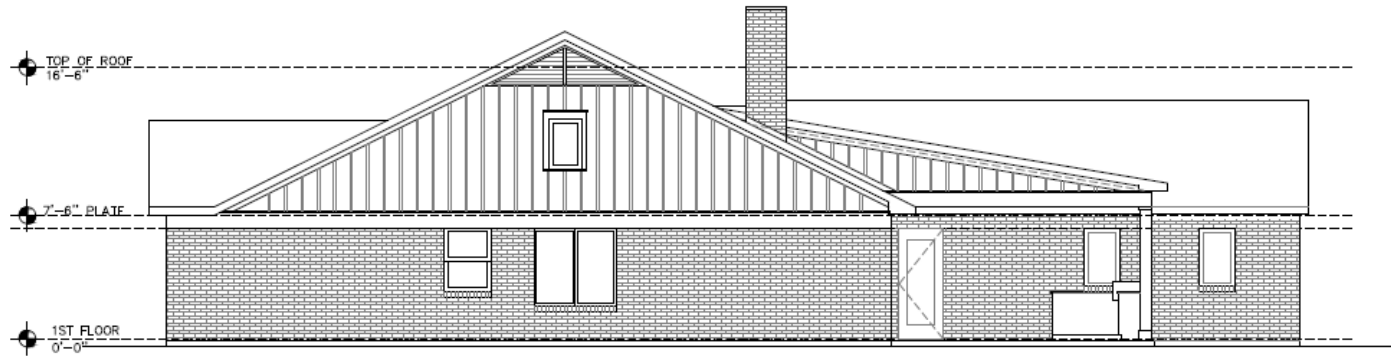
End Exhibit I – Proposed/Existing South (Left) Elevation

Exhibit J – Proposed/Existing West (Back) Elevation

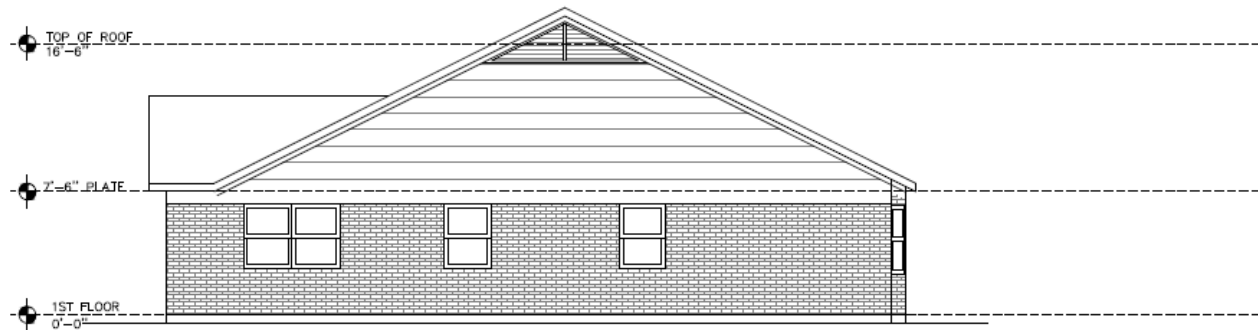


End Exhibit J – Proposed/Existing West (Back) Elevation

Exhibit K – Proposed/Existing North (Right) Elevation



3 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



1 EXISTING ELEVATION - NORTH
1/4" = 1'-0"

End Exhibit K – Proposed/Existing North (Right) Elevation